

CONSTRUCTION DRAWINGS FOR PERMIT

6141 Glen Falls Rd, Reisterstown, MD 21136



GENERAL NOTES

- 1.1. ALL WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, & LOCAL BUILDING AND ZONING CODES. CONTRACTOR SHALL NOTIFY THE HOME OWNER OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS BEFORE STARTING WORK.
- 1.2. ALL TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONSTRUCTION DOCUMENTS SHALL BE THE LATEST EDITION.
- 1.3. ALL FIRE RATED ASSEMBLIES INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL REFERENCE THE LATEST EDITION OF UNDERWRITERS LABORATORIES (UL), NATIONAL GYPSUM ASSOCIATION AND ICC-ES EVALUATION REPORTS.
- 1.4. ALL CONTRACTOR(S) PERFORMING WORK SHALL HAVE APPLICABLE LICENSES AND INSURANCE AS REQUIRED BY THE PROJECT OWNER AND LOCAL JURISDICTION
- 1.5. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING BUILDING PERMITS UNLESS NOTED OTHERWISE (U.N.O.) IN CONTRACT DOCUMENTS.
- 1.6. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING MECHANICAL, ELECTRICAL, PLUMBING & SPRINKLER PERMITS U.N.O.
- 1.7. .ANY MECHANICAL, ELECTRICAL, PLUMBING, FIRE SAFETY SYSTEMS OR OTHER ENGINEERING SYSTEMS IS DESIGNED BY OTHERS AND COORDINATED BY OTHERS IN THE ARCHITECTURAL DOCUMENTS.
- 1.8. CONTRACTOR(S) IS RESPONSIBLE FOR NOTIFYING THE BUILDING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO COMMENCING WORK. CONTRACTOR(S) IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR FOR ANY / ALL REQUIRED INSPECTIONS FOR THE DURATION OF THE PROJECT.
- 1.9. CONTRACTOR IS RESPONSIBLE FOR ENGAGING QUALIFIED INSPECTORS TO PERFORM CODE REQUIRED SPECIAL INSPECTIONS. WHERE APPLICABLE, REPORTS MUST BE ISSUED TO AUTHORITY HAVING JURISDICTION. NOTIFY HOME OWNER OF ANY FAILED INSPECTIONS OR DISCREPANCIES FROM CONTRACT DOCUMENTS.
- 1.10. SUBMITTALS ARE REQUIRED FOR STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER SPECIALIZED CONSTRUCTION. SUBMITTALS SHALL BE REVIEWED BY HOME OWNER FOR CONFORMANCE OF DESIGN. WHERE DRAWINGS DO NOT INDICATE APPROACH, CONTRACTORS SHALL COMPLY WITH PUBLISHED TRADE STANDARD PROTOCOL.
- 1.11. CONTRACTOR IS TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK, NOTIFY HOME OWNER IMMEDIATELY REGARDING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND ARCHITECTURAL DOCUMENTS.
- 1.12. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS ON PLANS, COORDINATE UTILITY LOCATIONS, STACKS, CONDUIT, AND OTHER BUILDING SYSTEMS. COORDINATE ELEVATION OF GRADE WITH FOUNDATION AND /OR SLAB ELEVATION.
- 1.13. CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE HOME OWNER IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE HOME OWNER BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- 1.14. DO NOT SCALE DRAWINGS.
- 1.15. CONTRACTORS SHALL KEEP THE PREMISES CLEAN, FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
- 1.16. CONTRACTOR(S) IS RESPONSIBLE FOR PROVIDING REQUIRED SITE FENCING AND PEDESTRIAN PROTECTION AROUND PERIMETER OF JOB SITE AS PER OSHA AND MUNICIPALITY REQUIREMENTS AND GUIDELINES.
- 1.17. CONTRACTOR(S) IS RESPONSIBLE TO ACQUIRE ANY / ALL STREET & SIDEWALK CLOSURE PERMITS AS WELL AS ANY REQUIRED DUMPSTER PERMITS.
- 1.18. CONTRACTOR PROVIDE ALL MATERIALS, LABOR, EQUIPMENT AND SERVICES (BOTH TEMPORARY AND PERMANENT) REQUIRED TO COMPLETE WORK. UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS. JOBSITE TOILET AND TELEPHONE TO BE PROVIDED, AS REQUIRED BY OWNER.
- 1.19. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SUPERVISING SUB-CONTRACTORS WORK, AND PROVIDING SHAFTS, CHASES, RECESSES AND OTHER MEANS OF ACCESS FOR TRADE WORK. SUB CONTRACTOR TO FIX, PATCH ANY WORK CUT OR DAMAGED DURING INSTALLATION THAT RESULTS IN AN UNSATISFACTORY CONSTRUCTION CONDITION AND IS NON CONFORMING WITH CONSTRUCTION DOCUMENTS.
- 1.20. THE HOME OWNER IS NOT RESPONSIBLE FOR THE CONTRACTOR(S) MEANS AND METHODS OF CONSTRUCTION.
- 1.21. OPERATION AND MAINTENANCE DATA SHALL BE HANDED OVER TO OWNER UPON COMPLETION OF PROJECT
- 1.22. THE PHRASE "OR EQUAL" SHALL BE ASSUMED WHEN CONSTRUCTION DOCUMENTS CALL OUT A SPECIFIC PRODUCT

Sheet List	
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A100	SITE PLAN
A101	EXISTING FOUND.
A102	BASEMENT PLAN
A103	FIRST FLOOR PLAN
A104	SECOND FLOOR PLAN
A105	ROOF PLAN
A106	ELEVATION
A107	ELEVATION
A108	ELEVATION
A109	ELEVATION
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A111	FOUNDATION PLAN
A112	SCHEDULE
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A123	STRUCTURAL DETAILS

MANAGER
Courtney M. Ffrench



6141 Glen Falls Rd, Reisterstown, MD 21136
PROJECT ADDRESS
KINGSLEY
PROJECT OWNER

DESCRIPTION	DATE

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Project Number
SQUARE FOOTAGE
4438 sf
SCALE
1/4" = 1'-0"
SHEET NAME
COVER PAGE
DATE
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CHECKED BY
Checker
SHEET NUMBER
A000
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ARCHITECTURAL LEGENDS

ELECTRICAL LEGEND	
	SWITCH
	THREE/FOUR-WAY SWITCH
	DUPLEX RECEPTACLE
	STANDARD GFI RECEPTACLE
	GFI RECEPT. 42" ABOVE FINISHED FLR.
	WEATHERPROOF GFI RECEPTACLE
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	PHONE JACK
	TV OUTLET
	THERMOSTAT
	SMOKE DETECTOR
	CEILING LIGHT FLUSH MOUNT
	CEILING LIGHT RECESSED
	WALL MOUNT LIGHT
	DISPOSAL
	RECESSED EYEBALL LIGHT
	EXHAUST FAN
	FAN / LIGHT COMBO
	CEILING FAN w/ LIGHT KIT
	STANDARD PREWIRE
	OPTIONAL CEILING FAN / LIGHT FIXTURE
	FLOODLIGHT
	GARAGE DOOR BUTTON
FLUOR	24"x12" FLUORESCENT LIGHT FIXTURE
FLUORESCENT	48"x24" FLUORESCENT LIGHT FIXTURE
	ELECTRICAL WIRE
FB	FLOOR BREAK
CH	DOOR CHIME

	FRAMED WALLS
	DEMOLITION WALL
	BRICK VENEER
	INSULATED WALL
	NEW CONC SLAB
	PRE ENGINEERED HEADER
	STRUCT. POINT LOAD
	ENGINEERED FLOOR SYSTEM DIRECTION
	ENGINEERED TRUSS SYSTEM DIRECTION
	DETAIL SYMBOL TAG/ SECTION CUT
	DETAIL NUMBER
	SHEET NUMBER
	DOOR SIZE-2'-6" x 6'-8"
	WINDOW SIZE-3'-0" x 5'-0"

ABBREVIATIONS

COND.	AIR CONDITION	H.B.	HOSE BIB
FF.	AT FINISH FLOOR	J.S.	JACK STUD
ARCH.	ARCHITECTURAL	LAUD.	LAUNDRY
DR.	BED ROOM	LIN.	LINEN
O.	CASED OPENING	MDF.	MEDIUM DENSITY FIBERBOARD
LG.	CEILING	MIL.	MILLIMETERS
	CENTER LINE	O.C.	ON CENTER
COL.	COLUMN	OPT.	OPTIONAL
DET.	DETAIL	OSB.	ORIENTED STRAND BOARD
R.	DOOR	PAN.	PANTRY
W.	DISH WASHER	POLY.	POLYVINYL
WG.	DRAWING	P.T.	PRESSURE TREATED
N.	DOWN	REFRIG.	REFRIGATOR
A.	EACH	IR & IS	1 ROD & 1 SHELF
LEC.	ELECTRIC	4 SH.	SHELF
W/P	ENGINEERING WOOD PRODUCTS	6 S.H.	SHEETROCK OPENING
UD.	FLOOD	STD.	STANDARD
T.	FLAT	S.Y.P.	SOUTHERN YELLOW PINE
AR.	GARAGE	TRD.	TREADS
GT.	HEIGHT	TYP.	TYPICAL
U.A.C.	HEATING VENTILATION & AIR CONDITIONING	UTIL.	UTILITY
		VIC.	VICTORY

SLAB NOTES

1. PLANS ARE DESIGNED TO MEET THE 2013 SC RESIDENTIAL CODE(2021) IRC WITH MODIFICATIONS AND AMENDMENTS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH MUNICIPALITY.
 2. PRESUMPTIVE SOIL CAPACITY IS 2000
 3. ALL HOUSE SLABS AND GARAGE ARE TO BE 3,000 PSI CONCRETE MINIMUM, UNLESS OTHERWISE NOTED
 4. ALL INTERIOR GRADE BEAMS SHALL BE SIZED TO PROVIDE NOT LESS THAN 6" OF PROJECTION ON EITHER SIDE OF THE BEARING WALL, UNLESS NOTED OTHERWISE OR SUPERCEDED BY LOCAL REQUIREMENTS
 5. GRADE BEAMS SHALL BE INSTALLED WITH A TYPICAL OVERALL DEPTH, INCLUDING SLAB THICKNESS, OF NOT LESS THAN 12", UNLESS NOTED OTHERWISE, OR SUPERCEDED BY LOCAL REQUIREMENTS.
 6. ALL SLABS ARE 4" CONCRETE SLAB WITH W.W.M. REINFORCED OVER 6 MIL. POLY OVER 4" COMPACTED FILL, UNLESS NOTED OTHERWISE.
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2. ALARM PADS TO BE PLACED BY CONTRACTOR.
3. PRE WIRE STANDARD FOR GARAGE DOOR OPENERS.
4. ELECTRICAL CONTRACTOR TO PLACE DISHWASHER SWITCH PER LOCAL CODE.
5. 220V OUTLET FOR STOVE AND DRYER PER COMMUNITY SPEC.
6. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND NECESSARY ITEMS AND OBTAIN AND PAY FOR ALL FEES AND PERMITS REQUIRED TO INSTALL A COMPLETE ELECTRICAL SYSTEM.
7. IT IS THE INTENT OF THESE PLANS FOR THE ELECTRICAL CONTRACTOR TO PROVIDE A COMPLETE SYSTEM, REGARDLESS OF WHETHER EACH INDIVIDUAL COMPONENT IS MENTIONED OR NOT.
8. WORK PERFORMED BY THE ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE STANDARDS OF THE FOLLOWING CODES AND ORDINANCES:
 - A. NFPA N. 70, "NATIONAL ELECTRIC CODE" LATEST EDITION.
 - B. NECA "STANDARD OF INSTALLATION"
 - C. THE ELECTRICAL UTILITY COMPANY SERVICE STANDARDS.
 - E. UNDERWRITER'S LABORATORY STANDARDS.OTHER LOCAL CODES, ORDINANCES AND LAWS APPLICABLE TO THE LOCATION OF THIS PROJECT.
9. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY AND THE ELECTRIC UTILITY COMPANY.
10. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TIMELY PLACEMENT OF ALL CONDUITS, OUTLET BOXES, CABINETS, AND OTHER WIRING DEVICES IN FLOORS, WALLS, CEILINGS, ETC. AS THE CONSTRUCTION PROGRESSES.
11. OUTLET BOXES SHALL BE LOCATED AS FOLLOWS:
 - A. WALL SWITCHES - 4'-0" ABOVE FINISH FLOOR
 - B. CONVENIENCE OUTLETS - 1'-4" (16") A.F.F. (CENTER)
 - C. EQUIPMENT OUTLETS AS REQUIRED (VERIFY)
12. CONDUCTORS SHALL BE COPPER, TYPE THWN/THHN.
13. CONVENIENCE RECEPTACLES SHALL BE 15 (20)AMP., 125 VOLT NEMA 5-15(20)R.
14. WALL SWITCHES SHALL BE 20 AMP. 120/277 V. AC, SINGLE POLE OR AS INDICATED ON THE DRAWING.
15. CIRCUIT BREAKER PANELS SHALL BE BY SQUARE D, SIEMENS, OR GENERAL ELECTRIC.
16. GROUNDING OF ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE N.E.C. AND LOCAL REQUIREMENTS.
17. ALL MATERIAL SHALL BE NW AND U.L. APPROVED AND LABELED.
18. ALL ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE TESTED AND ADJUSTED FOR PROPER OPERATION. COMPLETE WIRING SYSTEM SHALL BE FREE OF SHORT CIRCUITS.
19. THE ELECTRICAL CONTRACTOR SHALL MAKE COMPLETE CONNECTIONS TO ALL EQUIPMENT. COORDINATE WITH EQUIPMENT SUPPLIER FOR EXACT LOCATIONS AND REQUIREMENTS.

GENERAL NOTES

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- G1 . ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. WRITTEN DIMENSIONS AND NOTES SHALL CONTROL.
- G2. SEE ROOF PLAN AND/OR EXTERIOR ELEVATIONS FOR OVERHANG.
- G3. ALL INTERIOR BOX COLUMNS ARE 10"x10", UNLESS NOTED OTHERWISE.
- G4. ALL ANGLED WALLS ARE 45°, UNLESS NOTED OTHERWISE.
- G5. THE GARAGE IS TO BE SEPARATED FROM THE LIVING AND ATTIC SPACE BY A MINIMUM OF A 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
- G6. ALL DOORS ARE 4" FROM HINGED CORNER OR CENTERED, UNLESS NOTED OTHERWISE.
- G7. PLANS ARE DESIGNED TO MEET THE 2008 SC RESIDENTIAL CODE/ 2008 IRC WITH MODIFICATIONS AND AMENDMENTS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH MUNICIPALITY.
- G8 PROVIDE WOOD BLOCKING BEHIND CEILING FANS
- G9 USE 2X4 BLOCKING @ 36", 54", 78" A.F.F. TO CENTER LINE OF BLOCK FOR KITCHEN CABINETS AND @ 30" A.F.F. TO CENTER LINE OF BLOCK FOR BATHROOM CABINETS.

- G10 CLOSETS TO HAVE 1 ROD AND 1 SHELF WHERE SHOWN
UNLESS NOTED OTHERWISE
- G11 1R&1S - SHELF 69" A.F.F. 2R&1S-SHELF & 80" A.F.F. 2nd ROD
38" A.F.F.

- G12 LINEN CLOSETS AND PANTRIES TO HAVE (5) 16" DEEP SHELVES UNLESS NOTED OTHERWISE. FIRST SHELF TO BE @ 36" AFF W/ SHELF SPACING 12" O.C. ABV.

- G13 UTILITY ROOM TO HAVE (1) 16" SHELF AT 60" A.F.F. ABOVE WASHER & DRYER. CABINETS ARE PER COMMUNITY SPECS.

- G14 DOOR INTO THE HOUSE FROM THE GARAGE TO BE WEATHERSTRIPPED SOLID CORE
- G15 ALL MIRROR WIDTHS TO BE 3" LESS THAN OVERALL VANITY WIDTH. MIRROR HEIGHTS ARE PER COMMUNITY

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- G16 CENTER OF TOILET TO BE A MIN. OF 15" FROM THE VERTICAL SURFACE OF SIDE WALLS, CABINETS OR OTHER

- VERTICAL SURFACE OF SIDE WALLS, CABINETS OR OTHER OBSTRUCTION. PROVIDE A MIN OF 21" CLEAR FROM TOILET TO THE VERTICAL FACE OF A TUB OR OTHER OBSTRUCTION. EDGE OF TOILET TO BE A MIN. OF 4" FROM PEDESTAL OR WALL MOUNTED LAV.

- G17 FACE EDGE OF SHOWER UNITS TO HAVE A MIN. 24" CLEAR TO ANY VERTICAL SURFACE.

- G18 A/C PADS ARE TO BE 36"x36" OR 36"x72" FOR 2-UNIT A/C PAD
- G19 STUB GAS LINE 6" AFF AT CENTERLINE OF RANGE

- FIREPLACE ROUGH OPENING

G20	FP ROUGH OPENING SCHEDULE		
	FP BOX SIZE	OPNG WIDTH	OPNG HEIGHT

G20	FP ROUGH OPENING SCHEDULE		
	FP BOX SIZE	OPNG WIDTH	OPNG HEIGHT
	36" BOX	42"	34 5/8"
	42" BOX	48"	34 5/8"

DRAINAGE NOTES:

- D1 PROVIDE SITE DRAINAGE AS REQUIRE BY
SITE TOPOGRAPHY
- D2 FINISH FLOOR SHALL BE A MIN. OF 8" ABOVE
ADJ. FINISH GRADE FINISH GRADE SHALL
SLOPE 5% FOR A MIN. DISTANCE OF 10'-0"
FROM HOUSE TO AN APPROVED DRAINAGE
SYSTEM.

GEN. FRAMING NOTES:

1. ALL EXTERIOR WALLS SHALL BE CONSIDERED LOAD BEARING. ALL LOAD BEARING WALLS ARE NOMINAL 2x4 AT 16" o.c. UNLESS NOTED OTHERWISE. ALL NON-LOAD BEARING WALLS ARE NOMINAL 2x4 AT 24" o.c. UNLESS NOTED OTHERWISE.
2. INTERIOR WET WALLS SHALL BE FRAMED 2x6 TO ALLOW FOR PLUMBING. EXTERIOR WET WALL SHALL BE FRAMED 2x6 TO ALLOW FOR INSULATION AROUND

3. ALL 2x4 WALL HEADERS SHALL BE 2-2x10's w/ 1/2" PLYWOOD FLITCH PLATE BETWEEN, UNLESS NOTED OTHERWISE. ALL 2x6 WALL HEADERS SHALL BE

- 3-2x10's w/ 1/2" PLYWOOD FLITCH PLATES BETWEEN,
UNLESS NOTED OTHERWISE. ALL 2x MATERIAL CUT FOR
USE IN HEADERS SHALL BE CUT FROM 16'-0" BOARDS.

5. EACH END OF A HEADER FOR WALL OPENINGS UP TO 72" WIDE SHALL REST ON A SINGLE JACK-STUD. EACH END OF A HEADER FOR WALL OPENINGS GREATER

6. MULTIPLE WINDOW OPENINGS SHALL HAVE (2) STUDS TO

7. SHEATHING ON ALL FIREPLACE CHASES SHALL BE 7/16" O.S.B. FIREPLACE OPENING SHALL BE FRAMED IN

8. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 7/16" O.S.B.

- PLYWOOD. NAILING SCHEDULE SHALL BE:
- 8d COMMONS AT 6" o.c. AT ALL EDGES.
 - 8d COMMONS AT 12" o.c. AT ALL INTERMEDIATE STUDS.
9. OPTION - APPROVED DIAGONAL CORNER BRACES

10. ROOF DECKING SHALL BE 7/16"O.S.B. PLYWOOD MINIMUM.

- # HEADER NOTES:
- H1 HEADER MATERIAL TO BE A MIN. # 2 S.Y.P.

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- H2 HEADERS, LONGER THAN 9'-0", IF NOT SPECIFIED ON PLANS, ARE TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- H3 LOCATE HEADER DIRECTLY ABOVE OPENING. PROVIDE CRIPPLE FRAMING FROM TOP PLATES TO HEADER AS REQUIRED.
- H4 TABLE APPLIES TO ALL EXTERIOR WALLS AND LOAD BEARING INTERIOR WALLS. FOR NON-LOAD BEARING INTERIOR WALLS, USE 2-2x4'S CUT FROM STUDS.
- H5 DO NOT USE TABLE IF HEADERS SUPPORT CONCENTRATED LOADS.

HEADER SCHEDULE		
SPAN:	FRAMING:	LABEL:
UP TO 6'-6"	2-2x10	HDR-A
6'-7" TO 9'-0"	2-9 1/4" LVL	HDR-B
OVER 9'-0"	BY ENGINEER	ENG.

**Courtney M.
Ffrench**



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PROJECT ADDRESS

KINGSLEY

PROJECT OWNER

[illegible]

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- G3. ALL INTERIOR BOX COLUMNS ARE 10"x10", UNLESS NOTED OTHERWISE.
- G4. ALL ANGLED WALLS ARE 45°, UNLESS NOTED OTHERWISE.
- G5. THE GARAGE IS TO BE SEPARATED FROM THE LIVING AND ATTIC SPACE BY A MINIMUM OF A 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
- G6. ALL DOORS ARE 4" FROM HINGED CORNER OR CENTERED, UNLESS NOTED OTHERWISE.

GEN. FRAMING NOTES:

1. ALL EXTERIOR WALLS SHALL BE CONSIDERED LOAD BEARING. ALL LOAD BEARING WALLS ARE NOMINAL 2x4 AT 16" o.c. UNLESS NOTED OTHERWISE. ALL NON-LOAD BEARING WALLS ARE NOMINAL 2x4 AT 24" o.c. UNLESS NOTED OTHERWISE.
2. INTERIOR WET WALLS SHALL BE FRAMED 2x6 TO ALLOW FOR PLUMBING. EXTERIOR WET WALL SHALL BE FRAMED 2x6 TO ALLOW FOR INSULATION AROUND PLUMBING.
3. ALL 2x4 WALL HEADERS SHALL BE 2-2x10's w/ 1/2" PLYWOOD FLITCH PLATE BETWEEN, UNLESS NOTED OTHERWISE. ALL 2x6 WALL HEADERS SHALL BE 3-2x10's w/ 1/2" PLYWOOD FLITCH PLATES BETWEEN, UNLESS NOTED OTHERWISE. ALL 2x MATERIAL CUT FOR USE IN HEADERS SHALL BE CUT FROM 16'-0" BOARDS.
4. CRIPPLE DOWN OVER ALL INTERIOR NON-BEARING WALL OPENINGS, UNLESS NOTED OTHERWISE.
5. EACH END OF A HEADER FOR WALL OPENINGS UP TO 72" WIDE SHALL REST ON A SINGLE JACK-STUD. EACH END OF A HEADER FOR WALL OPENINGS GREATER THAN 72" SHALL REST ON (2) JACK-STUDS, UNLESS NOTED OTHERWISE.
6. MULTIPLE WINDOW OPENINGS SHALL HAVE (2) STUDS TO MATCH WALL WIDTH BETWEEN WINDOW UNITS UNLESS NOTED OTHERWISE.
7. SHEATHING ON ALL FIREPLACE CHASES SHALL BE 7/16" O.S.B. FIREPLACE OPENING SHALL BE FRAMED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS FOR SIZE AND CLEARANCE OF OPENING.
8. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 7/16" O.S.B. PLYWOOD. NAILING SCHEDULE SHALL BE:
 - 8d COMMONS AT 6" o.c. AT ALL EDGES.
 - 8d COMMONS AT 12" o.c. AT ALL INTERMEDIATE STUDS.

HEADER NOTES:

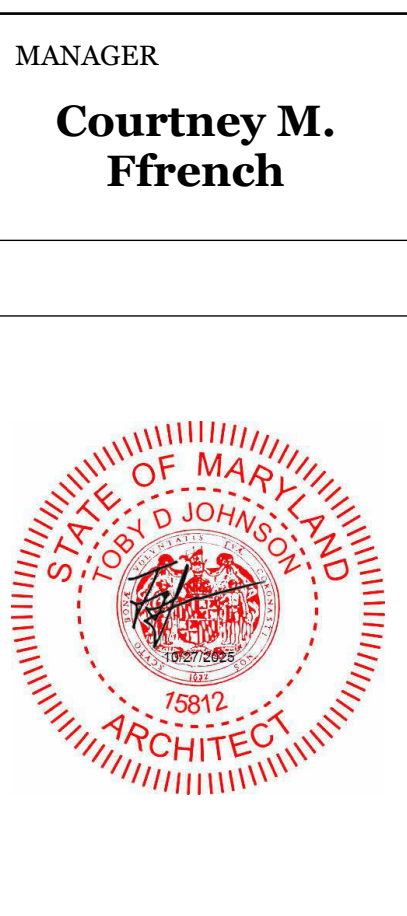
- H1 HEADER MATERIAL TO BE A MIN. # 2 S.Y.P.
- H2 HEADERS, LONGER THAN 9'-0", IF NOT SPECIFIED ON PLANS, ARE TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- H3 LOCATE HEADER DIRECTLY ABOVE OPENING. PROVIDE CRIPPLE FRAMING FROM TOP PLATES TO HEADER AS REQUIRED.
- H4 TABLE APPLIES TO ALL EXTERIOR WALLS AND LOAD BEARING INTERIOR WALLS. FOR NON-LOAD BEARING INTERIOR WALLS, USE 2-2x4'S CUT FROM STUDS.
- H5 DO NOT USE TABLE IF HEADERS SUPPORT CONCENTRATED LOADS.

HEADERS

HEADER SCHEDULE		
SPAN:	FRAMING:	LABEL:
UP TO 6'-6"	2-2x10	HDR-A
6'-7" TO 9'-0"	2-9 1/4" LVL	HDR-B
OVER 9'-0"	BY ENGINEER	ENG.

DRAINAGE NOTES:

- D1 PROVIDE SITE DRAINAGE AS REQUIRE BY SITE TOPOGRAPHY
- D2 FINISH FLOOR SHALL BE A MIN. OF 8" ABOVE ADJ. FINISH GRADE FINISH GRADE SHALL SLOPE 5% FOR A MIN. DISTANCE OF 10'-0" FROM HOUSE TO AN APPROVED DRAINAGE SYSTEM.



**Courtney M.
Ffrench**

6141 Glen Falls Rd, Reisterstown, MD 21136

PROJECT ADDRESS

KINGSLEY

PROJECT OWNER

PROJECT OWNER

6141 Glen Falls Rd, Reisterstown, MD 21136

PROJECT ADDRESS

KINGSLEY

PROJECT OWNER

[illegible]

PROJECT NUMBER
Project Number
SQUARE FOOTAGE
4438 sf
SCALE

PROJECT NUMBER
Project Number
SQUARE FOOTAGE
4438 sf
SCALE

SQUARE FOOTAGE

4438 sf

SCALE

SQUARE FOOTAGE

4438 sf

SCALE

SCALE

SHEET NAME

NOTES AND
LEGENDS

SHEET NAME

NOTES AND
LEGENDS

DATE
Issue Date

CHECKED BY
Checker

DATE
Issue Date

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SHEET NUMBER

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SHEET NUMBER

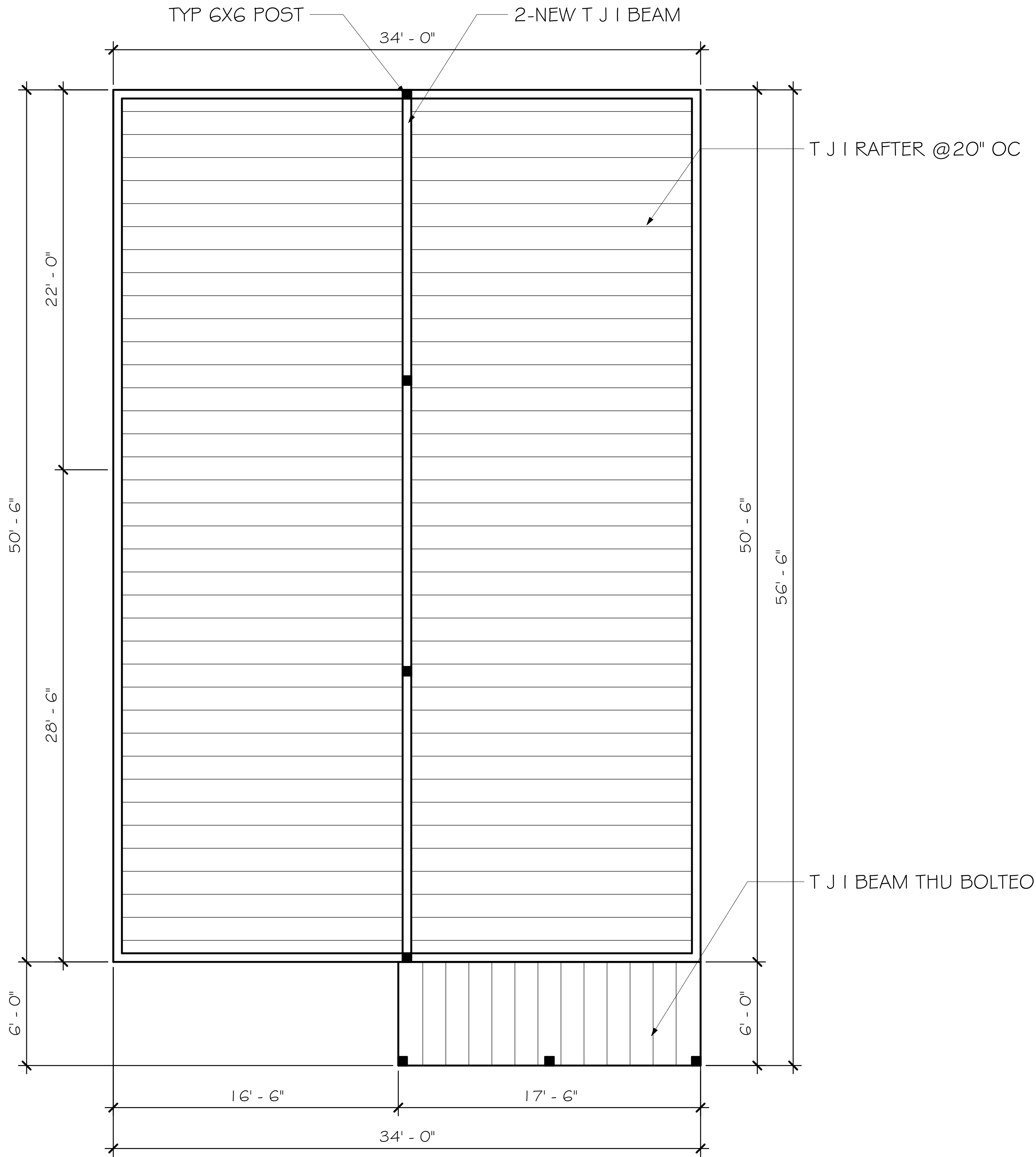
SHEET NUMBER

A001

SHEET NUMBER

A001

SCALE



01 EXISTING FOUND.

SCALE: 1/4" = 1'-0"

MANAGER

Courtney M. Ffrench

6141 Glen Falls Rd, Reisterstown, MD 21136

PROJECT ADDRESS

KINGSLEY

PROJECT OWNER

DESCRIPTION	DATE

PROJECT NUMBER

Project Number

SQUARE FOOTAGE

4438 sf

SCALE

1/4" = 1'-0"

SHEET NAME

EXISTING FOUND.

DATE

Issue Date

CHECKED BY

Checker

SHEET NUMBER

A101

SCALE

1/4" = 1'-0"

1. VERIFY ALL DIMENSIONS IN FIELD.
2. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN STRICT ACCORDANCE WITH APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS AND APPROVALS.
5. PROVIDE ALL BLOCKING NECESSARY FOR THE CONCEALED ATTACHMENT OF CABINETRY, SHELVING, HANDRAILS, LIGHT FIXTURES, BATH ACCESSORIES, ETC.
6. ALL UTILITY RUNS (HVAC DUCTWORK, ELECTRICAL WIRING, PLUMBING, ETC.) TO BE RUN THROUGH CONCEALED SPACES (I.E. WALLS, DROPPED CEILINGS, ETC.) AND ARE NOT TO BE EXPOSED (I.E. WIRE MOLD).
7. DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN.
8. COLORS OF NATIVE STONE, SIDING, ROOFING AND TRIM SHALL BE SELECTED BY OWNER.
9. INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO PAINT, WALL PAPER, CARPETING, VINYL FLOORING, WOOD FLOORING AND TILE SHALL BE AS SELECTED BY OWNER.

- A. USE 1/2" GYPSUM BOARD FOR WALLS, AND 5/8" GYPSUM BOARD FOR CEILINGSTHROUGHOUT THE BUILDING. DRYWALL (SHEETROCK) IS THE INTERIOR FINISH MOST COMMONLY USED IN RESIDENTIAL CONSTRUCTION. THE FOLLOWING GUIDELINES PERTAIN TO ITS APPLICATION. SAME APPLIES TO WATERPROOF CEMENT WALL BOARDS.
- B. WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED.
- C. WHEN PRACTICAL, WALLBOARD SHOULD BE APPLIED FIRST TO THE CEILING, AND THEN TO WALLS. SHEET SHOULD BE BROUGHT INTO CONTACT BUT NOT FORCED INTO PLACE. SPACES BETWEEN SHEETS SHOULD NOT EXCEED 1/4" AND TAPERED EDGES SHOULD BE PLACED NEXT TO EACH OTHER WHEREVER POSSIBLE.
- D. CUTOUTS FOR ELECTRICAL OUTLETS, PIPES, FIXTURES OR OTHER SMALL OPENINGS SHOULD BE CUT OUT NEATLY WITH A MAXIMUM CLEARANCE OF 1/4". IF THERE ARE ANY GAPS EXCEEDING 1/4", THEY MUST BE FILLED WITH TAPING COMPOUND AND DRYWALL TAPE.
- E. CORNERS: A. ALL METAL REINFORCED CORNERS MUST FIT SNUGLY AGAINST WALLBOARD AND SHOULD BE NAILED APPROXIMATELY 12" ON CENTER. B. ALL "L" EDGE METAL TRIM SHOULD BE NAILED EVERY 6". PAPERBACK CORNER BEAD IS ACCEPTABLE IF INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- F. BATHROOM: A. GREEN BOARD WALL SHALL BE USED IN THE BATHROOM AND BACKED WITH A VAPOR BARRIER.

01 00 BASEMENT

SCALE: 1/4" = 1'-0"



6141 Glen Falls Rd, Reisterstown, MD 21136

PROJECT ADDRESS

KINGSLEY

PROJECT OWNER

[illegible]

PROJECT NUMBER
Project Number
SQUARE FOOTAGE
4438 sf
SCALE
1/4" = 1'-0"
SHEET NAME
BASEMENT PLAN
DATE
Issue Date
CHECKED BY
Checker
SHEET NUMBER
A102
SCALE
1/4" = 1'-0"

1. VERIFY ALL DIMENSIONS IN FIELD.
2. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN STRICT ACCORDANCE WITH APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS AND APPROVALS.
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6. ALL UTILITY RUNS (HVAC DUCTWORK, ELECTRICAL WIRING, PLUMBING, ETC.) TO BE RUN THROUGH CONCEALED SPACES (I.E. WALLS, DROPPED CEILINGS, ETC.) AND ARE NOT TO BE EXPOSED (I.E. WIRE MOLD).
7. DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN.
8. COLORS OF NATIVE STONE, SIDING, ROOFING AND TRIM SHALL BE SELECTED BY OWNER.
9. INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO PAINT, WALL PAPER, CARPETING, VINYL FLOORING, WOOD FLOORING AND TILE SHALL BE AS SELECTED BY OWNER.

01 01 FIRST FLOOR

SCALE: 1/4" = 1'-0"



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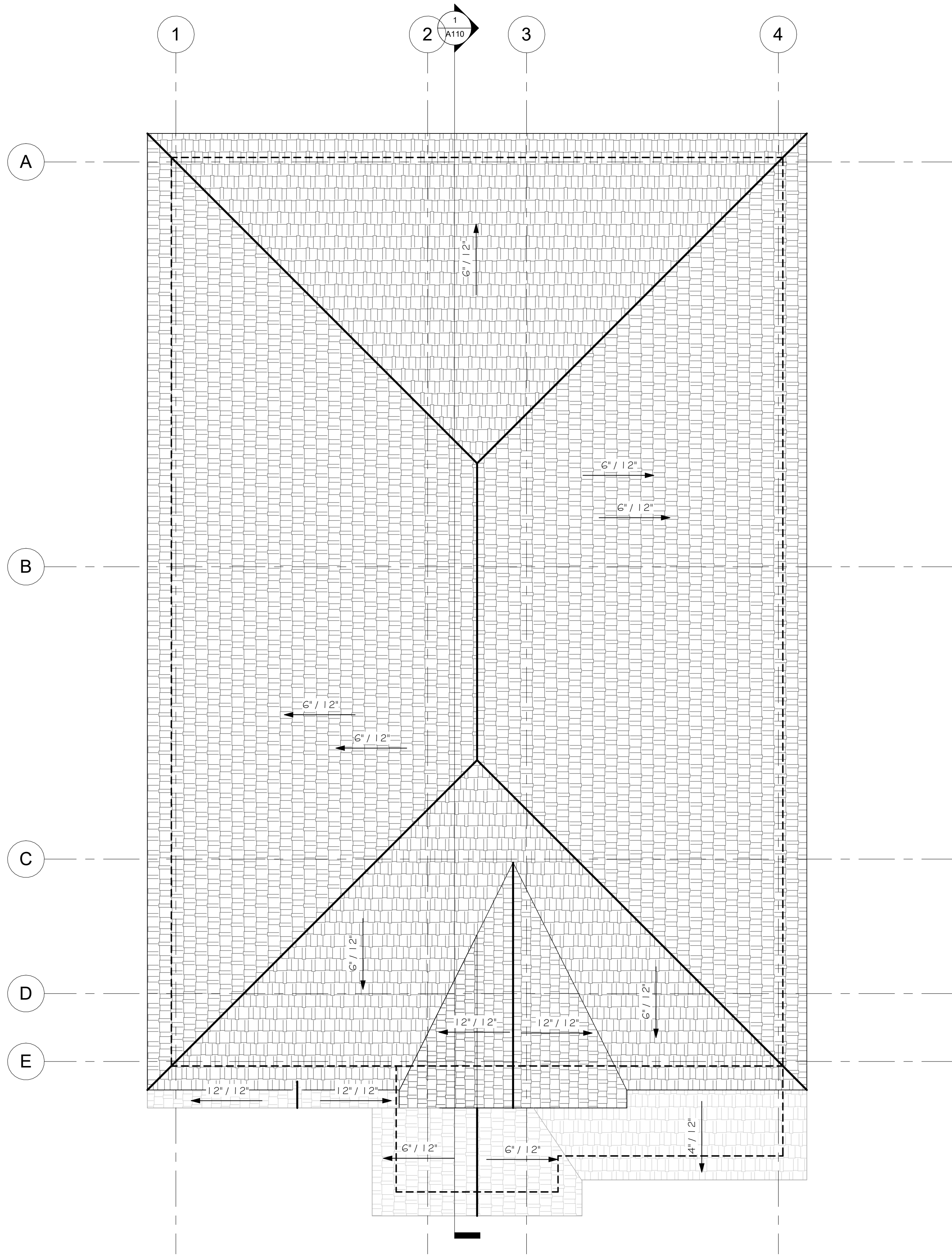
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SCALE: 1/4" = 1'-0"

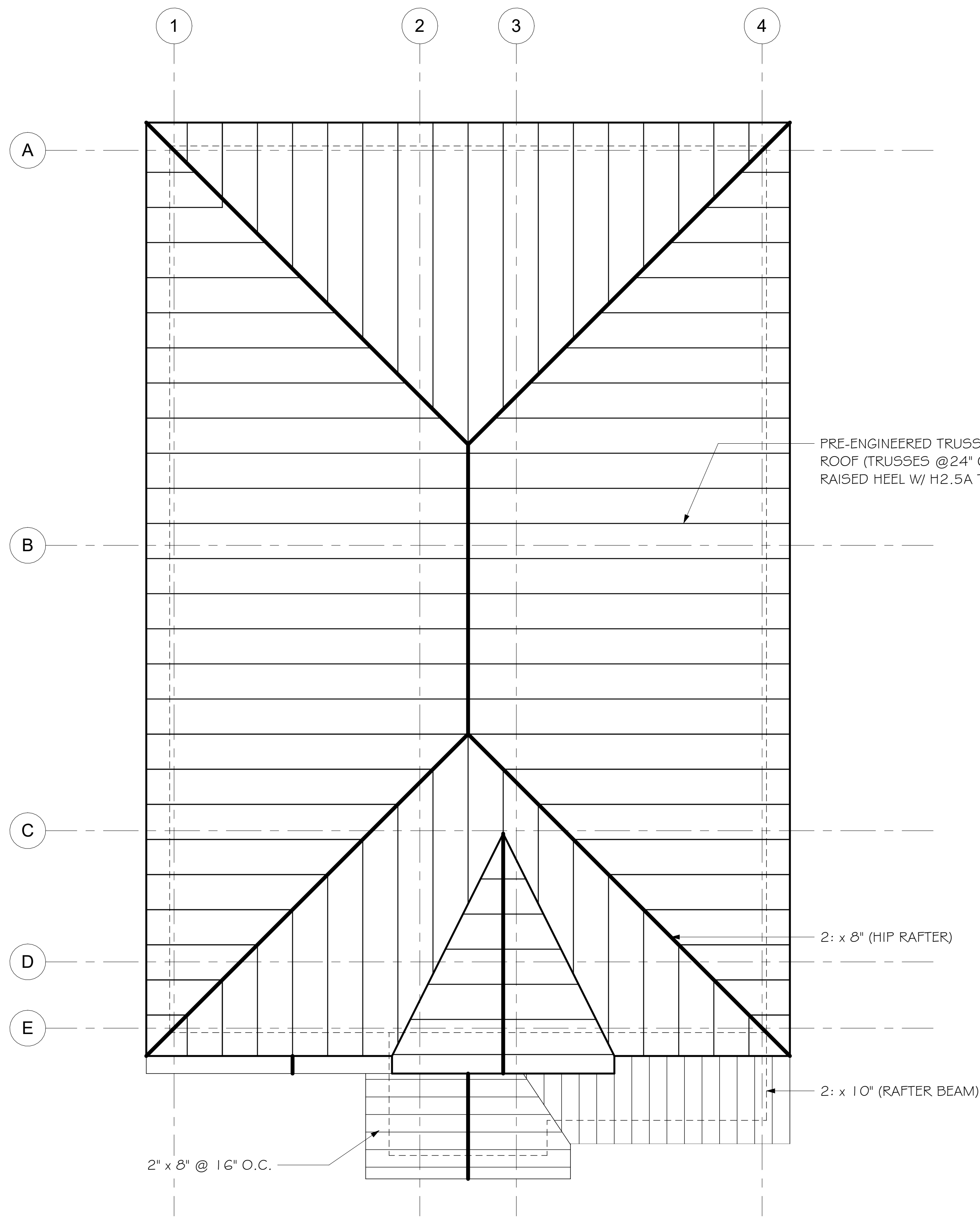
$$1/4'' = 1'-0''$$

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01 ROOF PLAN

SCALE: 1/4" = 1'-0"



02 ROOF FRAMING

SCALE: 1/4" = 1'-0"

MANAGER

Courtney M.
Ffrench



6141 Glen Falls Rd, Reisterstown, MD 21136

PROJECT ADDRESS

KINGSLEY

PROJECT OWNER

DESCRIPTION	DATE

PROJECT NUMBER
Project Number
SQUARE FOOTAGE
4438 sf
SCALE
1/4" = 1'-0"
SHEET NAME
ROOF PLAN
DATE
Issue Date
CHECKED BY
Checker
SHEET NUMBER
A105
SCALE
1/4" = 1'-0"

NOTES

1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
2. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.
3. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
4. REFER TO FRAMING PLANS,FLOOR PLANS, AND SECTIONS FOR CLARIFICATION AND DIMENSIONS
5. SEE SCHEDULE FOR DOOR AND WINDOW INFORMATION AND HEIGHTS
6. LATH & PLASTER

MATERIALS FOR PLASTER IS TO BE THE STANDARD PRODUCTS OF RECOGNIZED MANUFACTURES, AND SHALL BE AS MANUFACTURED BY US GYPSUM CO. AND APPROVED BY THE LATH AND PLASTER INSTIGAT OR APPROVED EQUAL.

ALL PLASTER CORNER BEADS, CASING BEADS, CONTROL JOINTS,EXPANSION SCREEDS AND ACCESSORIES ARE TO BE GALVANIZED.PROVIDE CASING BEADS AT ALL JOINTS OF STUCCO TO DISSIMILAR SURFACES UNLESS OTHERWISE NOTED

WHERE INDICATED ON THE DRAWINGS, PORTLAND CEMENT PLASTER IS TO BE HAND APPLIED (3) THREE COAT WORK, 7/8" THICK ON EXTERIOR SURFACES. THE COATS ARE TO CONSIST OF A SCRATCH (3/8" AND A TWO COAT FINISH (1/8" MIN.) COAT PROPORTIONED AND MIXED ADS RECOMMENDED BY THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION.
7. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
8. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK



01 South
SCALE: 1/4" = 1'-0"

MANAGER

Courtney M. Ffrench

PROJECT OWNER

KINGSLEY

PROJECT ADDRESS

6141 Glen Falls Rd, Reisterstown, MD 21136

DESCRIPTION	DATE

PROJECT NUMBER

Project Number

SQUARE FOOTAGE

4438 sf

SCALE

1/4" = 1'-0"

SHEET NAME

ELEVATION

DATE

Issue Date

CHECKED BY

Checker

SHEET NUMBER

A106

SCALE

1/4" = 1'-0"

NOTES

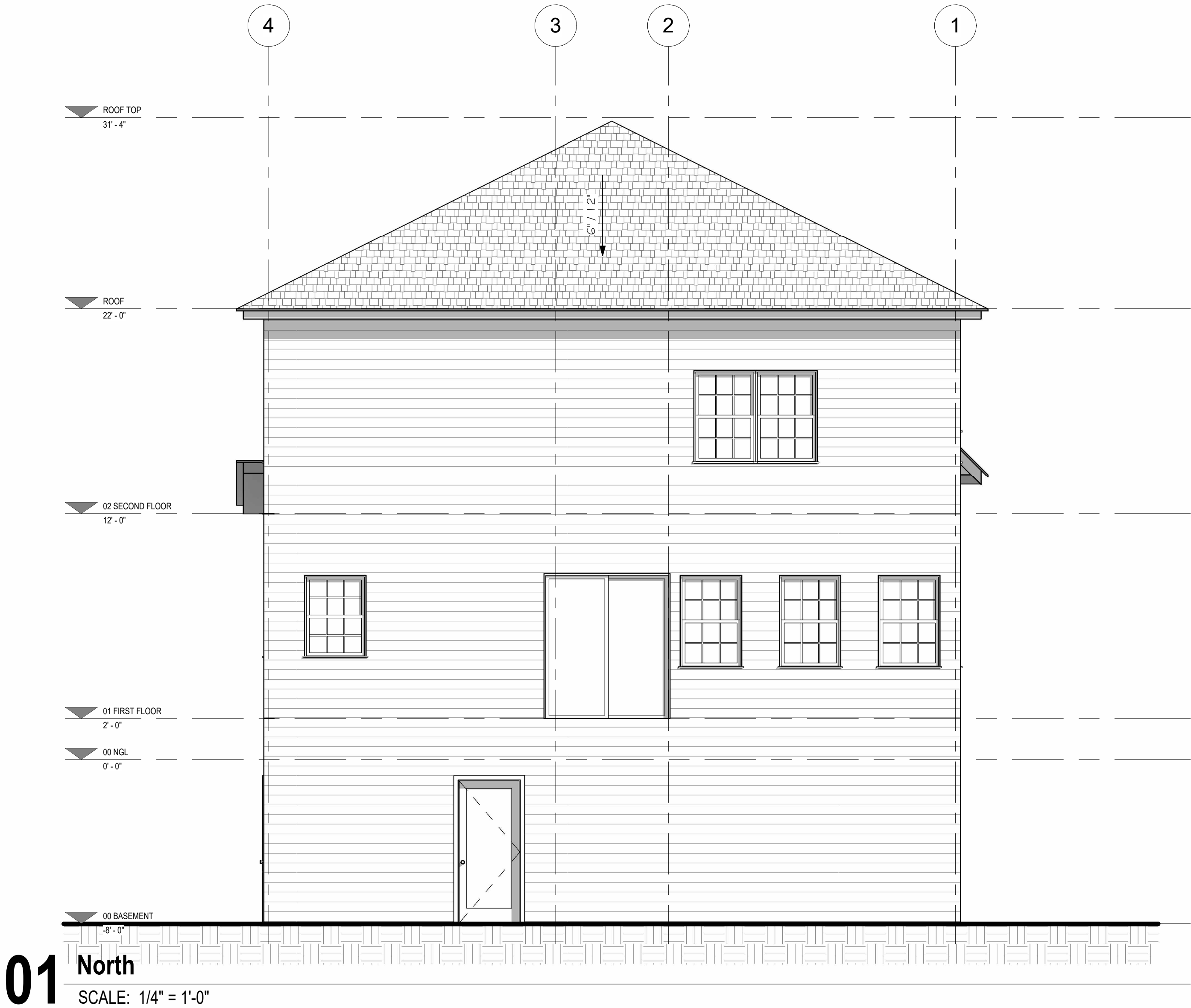
- 1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
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- 9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK



MANAGER

Courtney M. Ffrench

PROJECT OWNER

KINGSLEY

PROJECT ADDRESS

6141 Glen Falls Rd, Reisterstown, MD 21136

DESCRIPTION	DATE

PROJECT NUMBER

Project Number

SQUARE FOOTAGE

4438 sf

SCALE

1/4" = 1'-0"

SHEET NAME

ELEVATION

DATE

Issue Date

CHECKED BY

Checker

SHEET NUMBER

A107

SCALE

1/4" = 1'-0"

NOTES

1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
2. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.
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5. SEE SCHEDULE FOR DOOR AND WINDOW INFORMATION AND HEIGHTS
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8. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK



01 East
SCALE: 1/4" = 1'-0"

MANAGER
Courtney M. Ffrench



6141 Glen Falls Rd, Reisterstown, MD 21136
PROJECT ADDRESS
KINGSLEY
PROJECT OWNER

DESCRIPTION	DATE

PROJECT NUMBER Project Number
SQUARE FOOTAGE 4438 sf
SCALE 1/4" = 1'-0"
SHEET NAME ELEVATION
DATE Issue Date
CHECKED BY Checker
SHEET NUMBER A108
SCALE 1/4" = 1'-0"

NOTES

1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
2. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.
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8. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK



01 West
SCALE: 1/4" = 1'-0"

MANAGER
Courtney M. Ffrench



6141 Glen Falls Rd, Reisterstown, MD 21136
PROJECT ADDRESS
KINGSLEY
PROJECT OWNER

DESCRIPTION	DATE

PROJECT NUMBER Project Number
SQUARE FOOTAGE 4438 sf
SCALE 1/4" = 1'-0"
SHEET NAME ELEVATION
DATE Issue Date
CHECKED BY Checker
SHEET NUMBER A109
SCALE 1/4" = 1'-0"

MANAGER

**Mourtney M.
Ffrench**



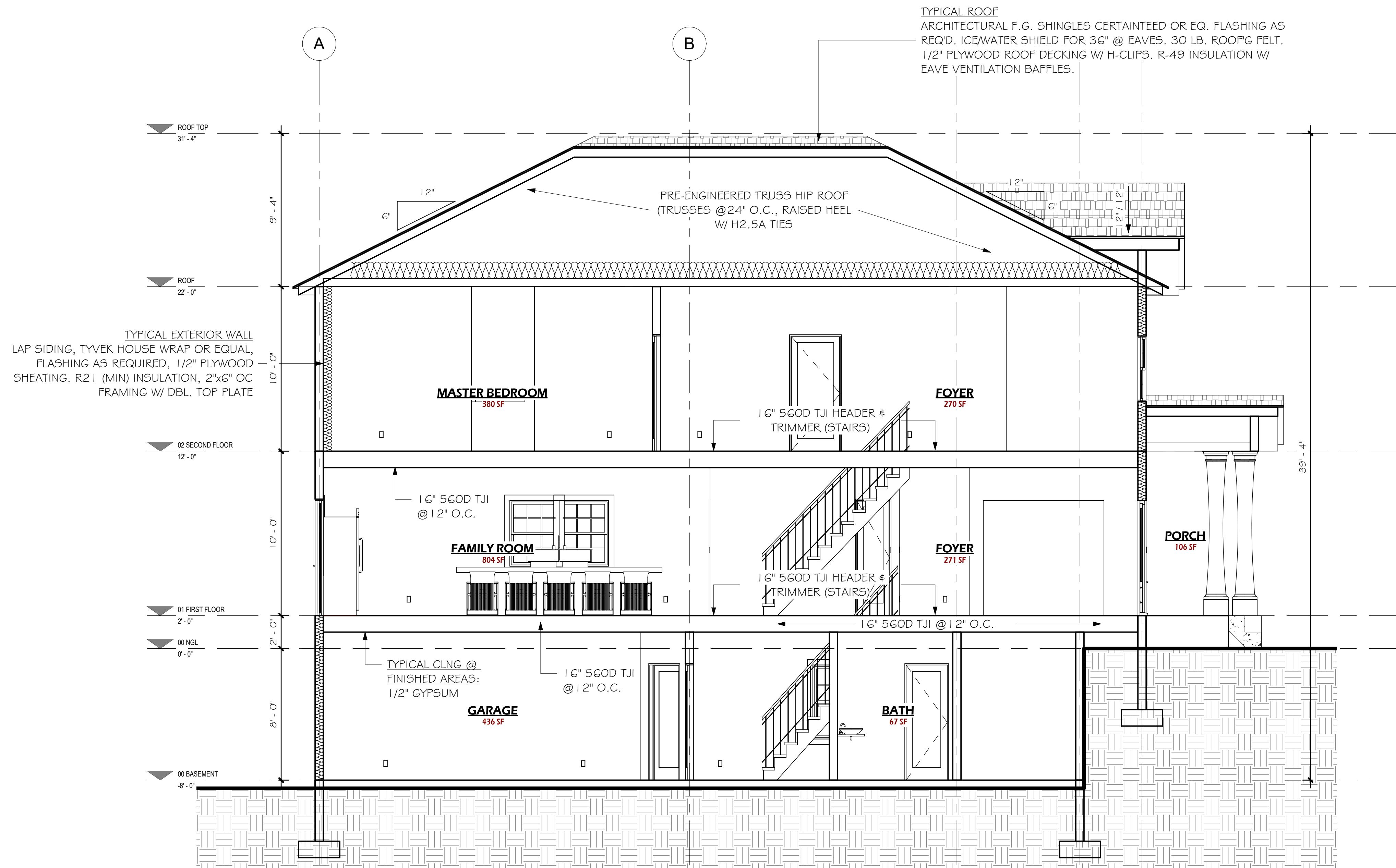
6141 Clon Falls Pk Poistorstorum MD 21106

KINGSLEY

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PROJECT NUMBER	Project Number
SQUARE FOOTAGE	4438 sf
SCALE	1/4" = 1'-0"
SHEET NAME	SECTION
DATE	Issue Date
CHECKED BY	Checker
SHEET NUMBER	A110
SCALE	1/4" = 1'-0"

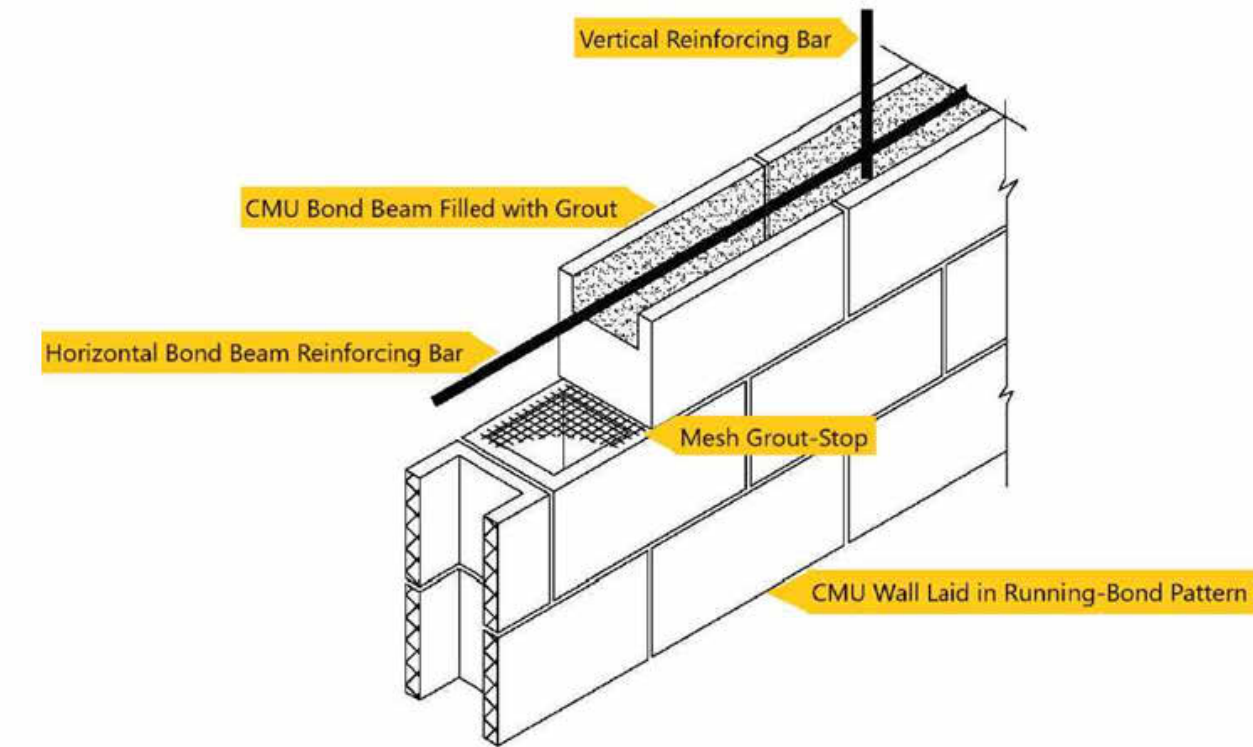
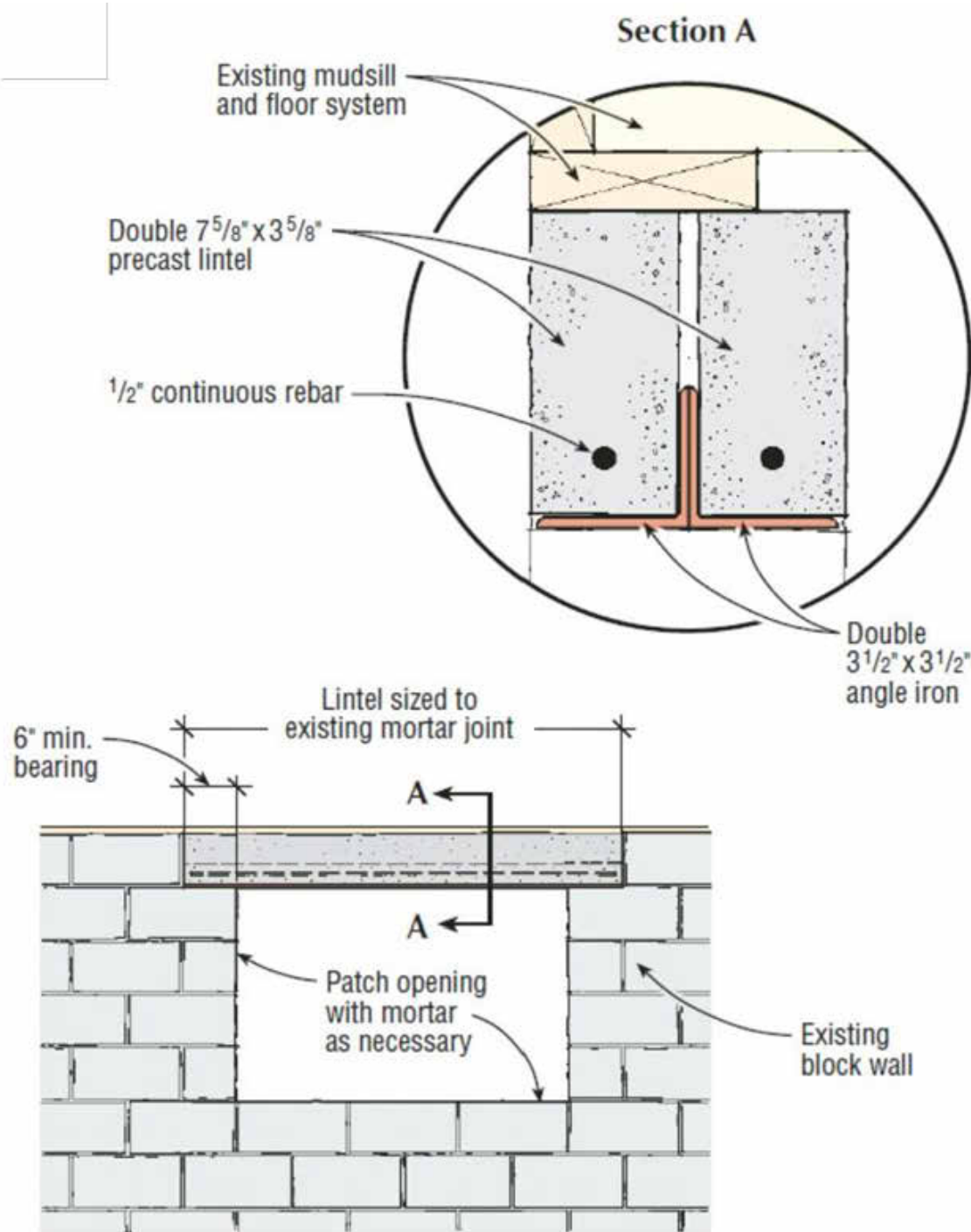
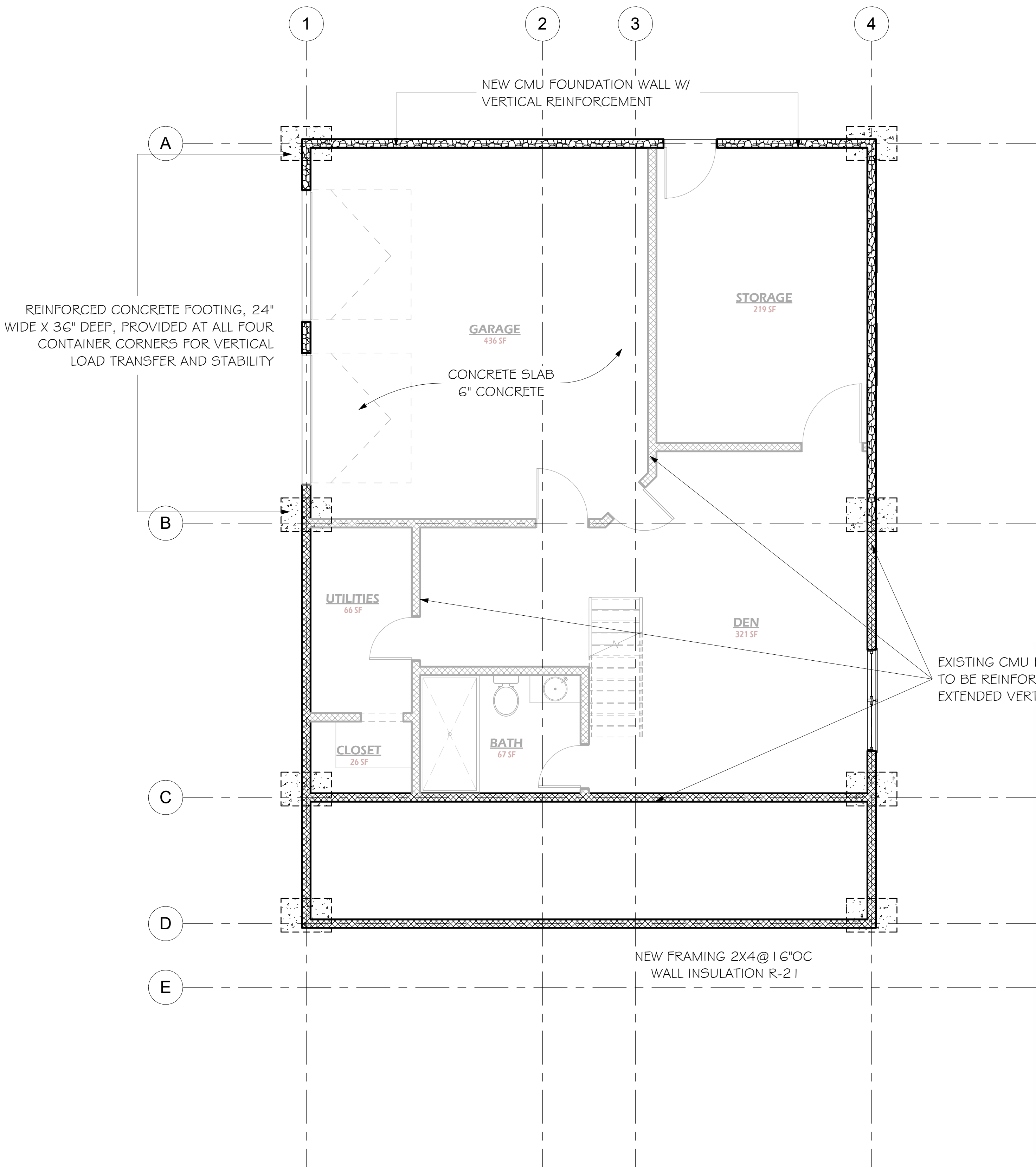
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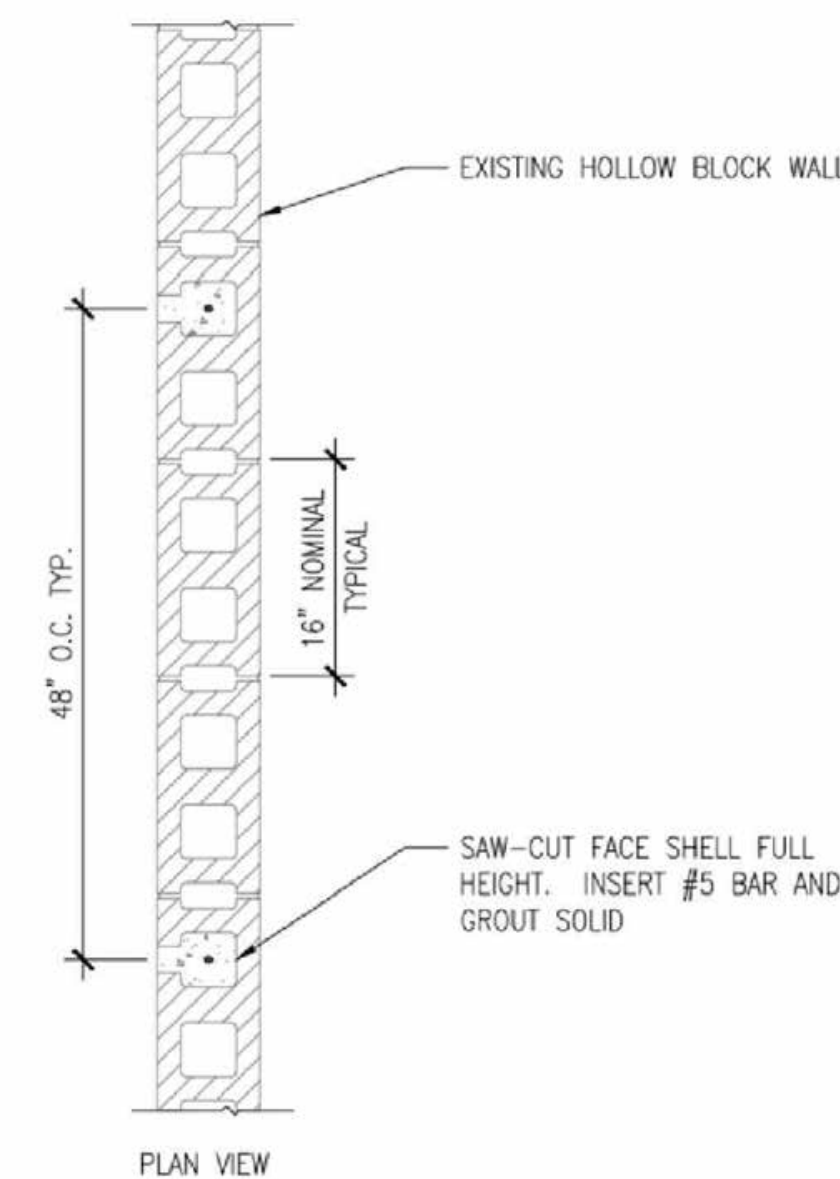
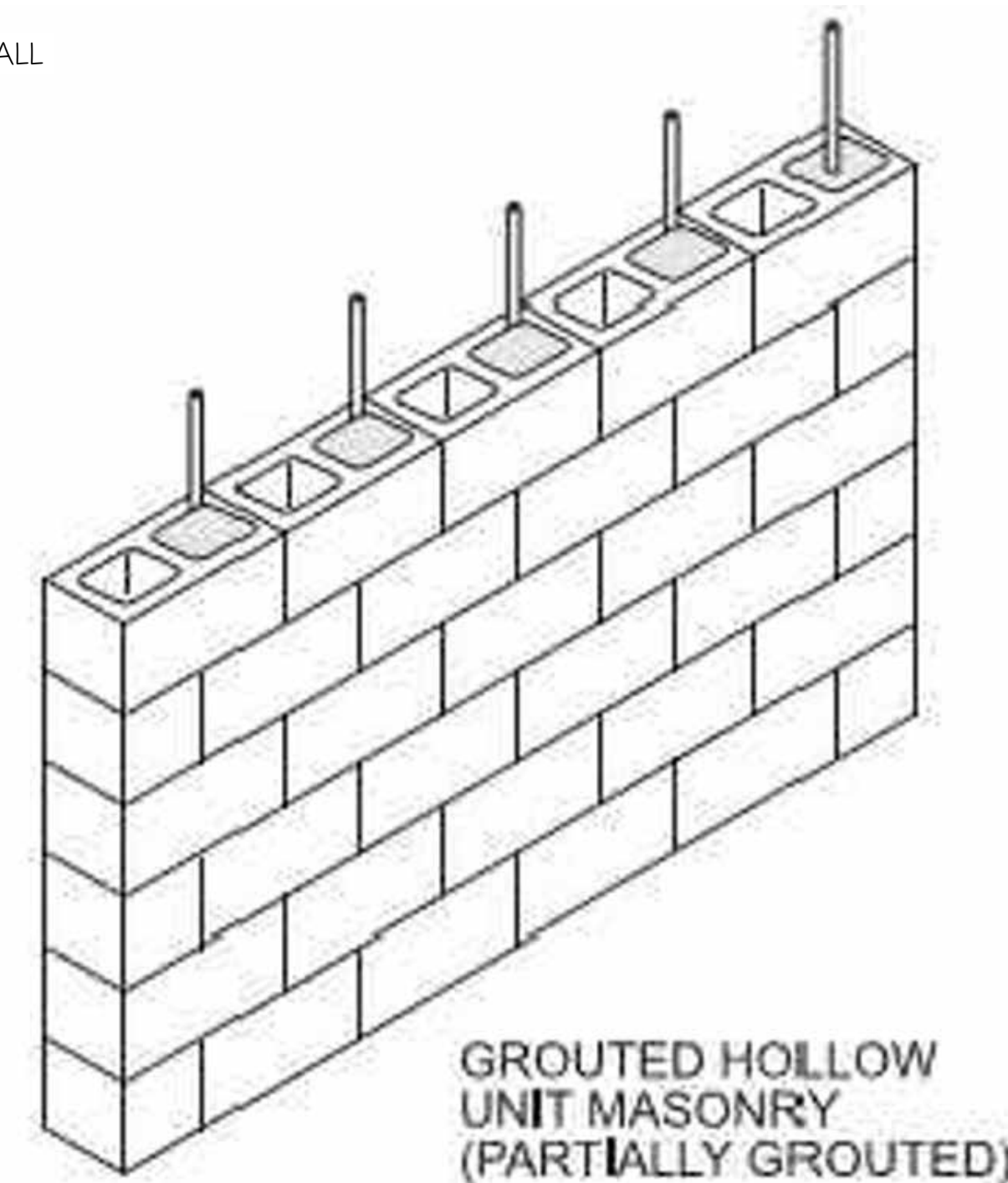
01 PROPOSED SECTION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



TYP. VERT. & HORIZ. REINF.
@ TOP OF CMU WALL
SCALE = NTS



URM WALL STRENGTHENING
SCALE = NTS

01 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

MANAGER
Courtney M. Ffrench

PROJECT OWNER
KINGSLEY

PROJECT ADDRESS
6141 Glen Falls Rd, Reisterstown, MD 21136

DESCRIPTION	DATE

PROJECT NUMBER
Project Number

SQUARE FOOTAGE
4438 sf

SCALE
1/4" = 1'-0"

SHEET NAME
FOUNDATION PLAN

DATE
Issue Date

CHECKED BY
Checker

SHEET NUMBER
A111

SCALE
1/4" = 1'-0"

10/31/2025 5:21:02 AM

WINDOW SCHEDULE				
MARK	LOCATION	WIDTH	HEIGHT	HEAD
00 BASEMENT				
001	DEN	3' - 0"	4' - 6"	7' - 0"
002	DEN	3' - 0"	4' - 6"	7' - 0"
003	STORAGE	3' - 6"	4' - 0"	7' - 0"
004	STORAGE	3' - 6"	4' - 0"	7' - 0"
01 FIRST FLOOR				
101	LIBRARY ROOM	3' - 0"	4' - 6"	7' - 0"
102	LIVING ROOM	3' - 0"	5' - 0"	7' - 0"
103	PORCH	3' - 0"	5' - 0"	7' - 0"
104	LIVING ROOM	3' - 0"	5' - 0"	7' - 0"
105	LIVING ROOM	3' - 0"	5' - 0"	7' - 0"
106	LIBRARY ROOM	3' - 0"	4' - 6"	7' - 0"
107	FAMILY ROOM	3' - 0"	4' - 6"	7' - 0"
108	FAMILY ROOM	3' - 0"	4' - 6"	7' - 0"
109	FAMILY ROOM	3' - 0"	4' - 6"	7' - 0"
110	FAMILY ROOM	3' - 0"	4' - 6"	7' - 0"
111	FAMILY ROOM	3' - 0"	4' - 6"	7' - 0"
112	FAMILY ROOM	3' - 0"	4' - 6"	7' - 0"
113	FAMILY ROOM	3' - 0"	4' - 6"	7' - 0"
114	FAMILY ROOM	3' - 0"	4' - 0"	7' - 0"
115	FAMILY ROOM	3' - 0"	4' - 0"	7' - 0"
116	FAMILY ROOM	3' - 0"	4' - 0"	7' - 0"
02 SECOND FLOOR				
201	BEDROOM 2	3' - 0"	4' - 6"	7' - 0"
202	BEDROOM 2	3' - 0"	4' - 6"	7' - 0"
203	BATH	3' - 0"	3' - 0"	7' - 0"
204	LIBRARY	2' - 6"	4' - 6"	7' - 0"
205	LIBRARY	2' - 6"	4' - 6"	7' - 0"
206	MASTER BEDROOM	3' - 0"	4' - 6"	7' - 0"
207	MASTER BEDROOM	3' - 0"	4' - 6"	7' - 0"
208	MASTER BEDROOM	3' - 0"	4' - 6"	7' - 0"
209	MASTER BEDROOM	3' - 0"	4' - 6"	7' - 0"
210	BEDROOM 4	2' - 6"	4' - 6"	7' - 0"
211	BEDROOM 4	2' - 6"	4' - 6"	7' - 0"
212	BEDROOM 3	2' - 6"	4' - 6"	7' - 0"
213	BEDROOM 3	2' - 6"	4' - 6"	7' - 0"
214	BEDROOM 3	3' - 0"	4' - 6"	7' - 0"
215	BEDROOM 3	3' - 0"	4' - 6"	7' - 0"
216	FOYER	2' - 0"	4' - 0"	7' - 0"
217	FOYER	2' - 0"	4' - 0"	7' - 0"
218	BEDROOM 2	2' - 6"	2' - 6"	7' - 0"
Grand total: 38				

DOOR SCHEDULE			
MARK	LOCATION	WIDTH	HEIGHT
00 BASEMENT			
001	DEN	3' - 0"	7' - 0"
002	GARAGE	2' - 6"	7' - 0"
003	UTILITIES	2' - 6"	7' - 0"
004	DEN	2' - 6"	7' - 0"
005	DEN	3' - 6"	7' - 0"
006	STORAGE	3' - 0"	7' - 0"
007	GARAGE	3' - 0"	7' - 0"
008	GARAGE	7' - 10"	7' - 0"
009	GARAGE	7' - 10"	7' - 0"
01 FIRST FLOOR			
101	PORCH	4' - 6"	7' - 0"
102	FAMILY ROOM	6' - 0"	7' - 0"
103	FOYER	3' - 0"	7' - 0"
104	FAMILY ROOM	2' - 0"	7' - 0"
105	FOYER	2' - 0"	7' - 0"
02 SECOND FLOOR			
201	FOYER	3' - 0"	7' - 0"
202	FOYER	3' - 0"	7' - 0"
203	BEDROOM 2	2' - 0"	7' - 0"
205	FOYER	2' - 6"	7' - 0"
206	BEDROOM 4	2' - 4"	7' - 0"
207	FOYER	3' - 0"	7' - 0"
208	BEDROOM 3	2' - 0"	7' - 0"
209	FOYER	2' - 6"	7' - 0"
210	MASTER BATH	3' - 0"	7' - 0"
211	MASTER BATH	3' - 0"	7' - 0"
212	MASTER BATH	2' - 0"	7' - 0"
213	CLO.	2' - 6"	7' - 0"
214	FOYER	3' - 0"	7' - 0"
Grand total: 27			

MANAGER

Courtney M. Ffrench

PROJECT OWNER

KINGSLEY

PROJECT ADDRESS

6141 Glen Falls Rd, Reisterstown, MD 21136

DESCRIPTION	DATE

PROJECT NUMBER

Project Number

SQUARE FOOTAGE

4438 sf

SCALE

SHEET NAME

SCHEDULE

DATE

Issue Date

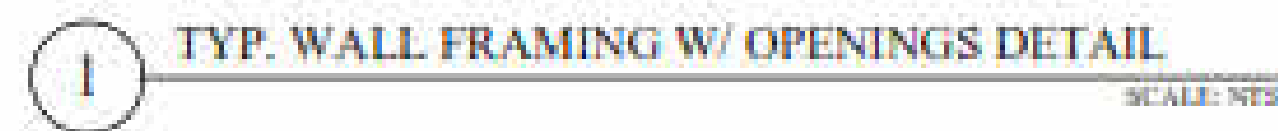
CHECKED BY

Checker

SHEET NUMBER

A112

SCALE



R - FACTOR AND U - FACTOR	
ELEMENT	MAIN HOUSE
U - FACTOR	
DOORS/WINDOWS	0.35
R - VALUE	
CEILINGS	49
WALLS (WOOD FRAMED)	20
WALLS (CONCRETE)	13
FLOORS	20
BASEMENT WALLS	13
SLAB ON GRADE	10

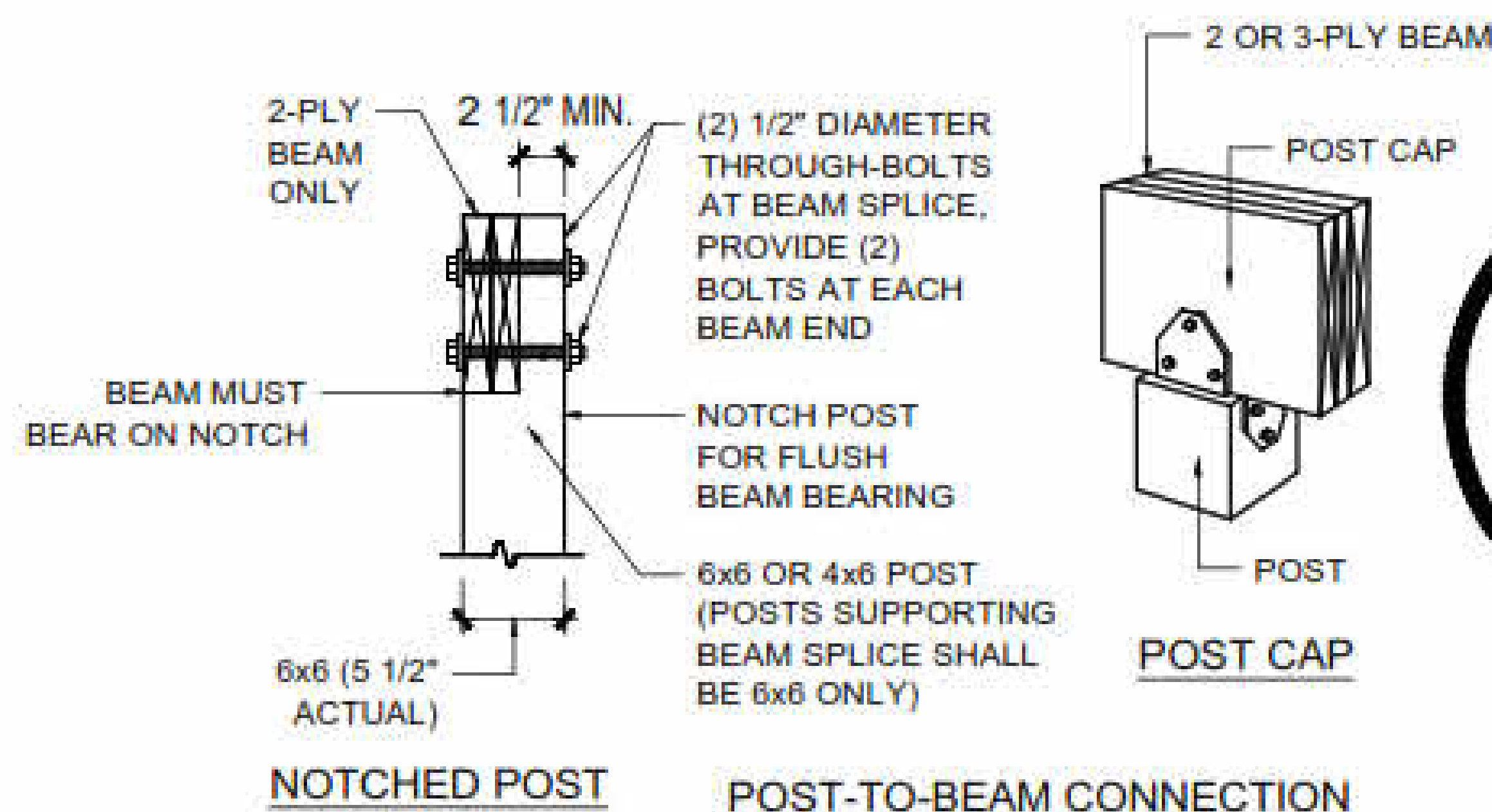
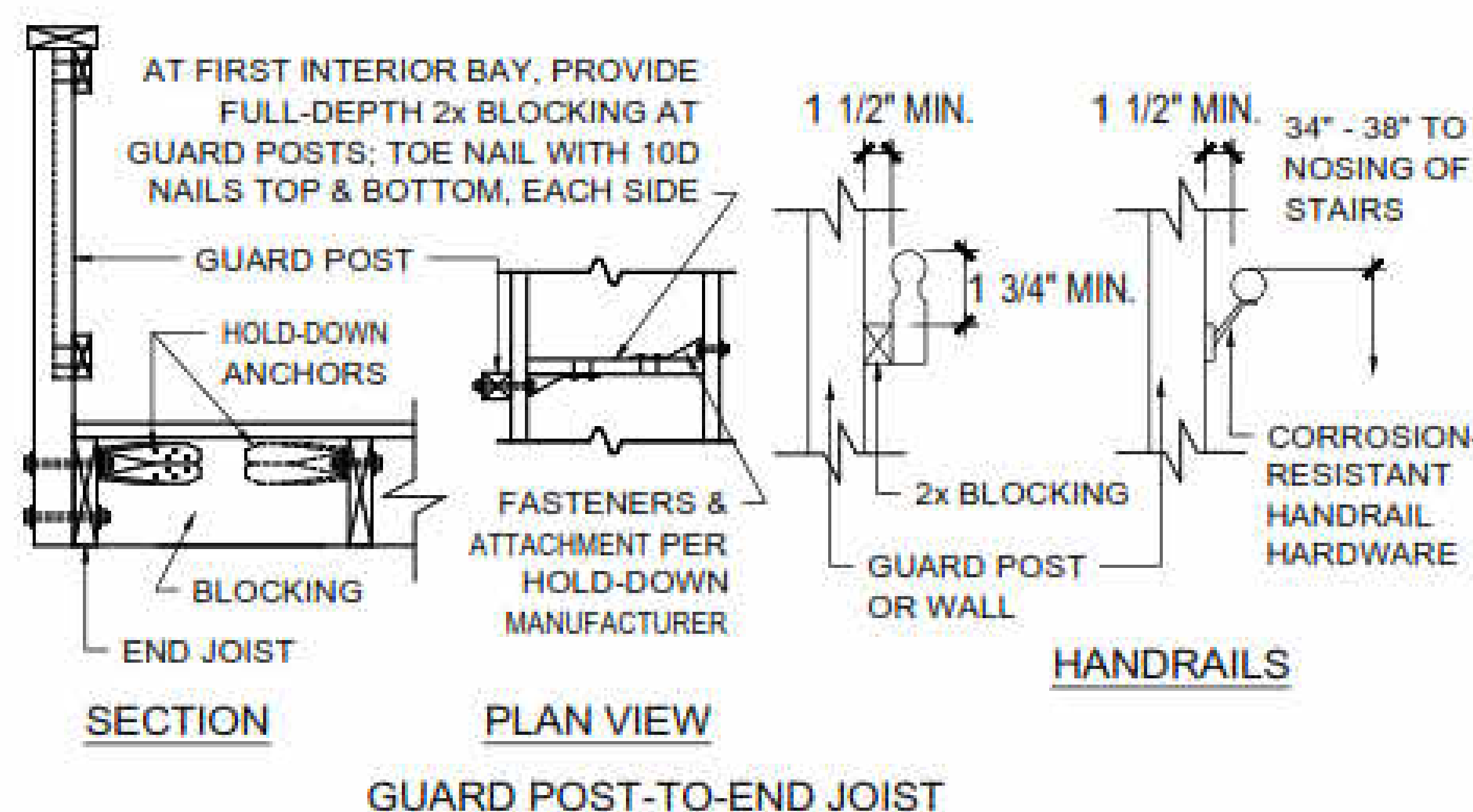
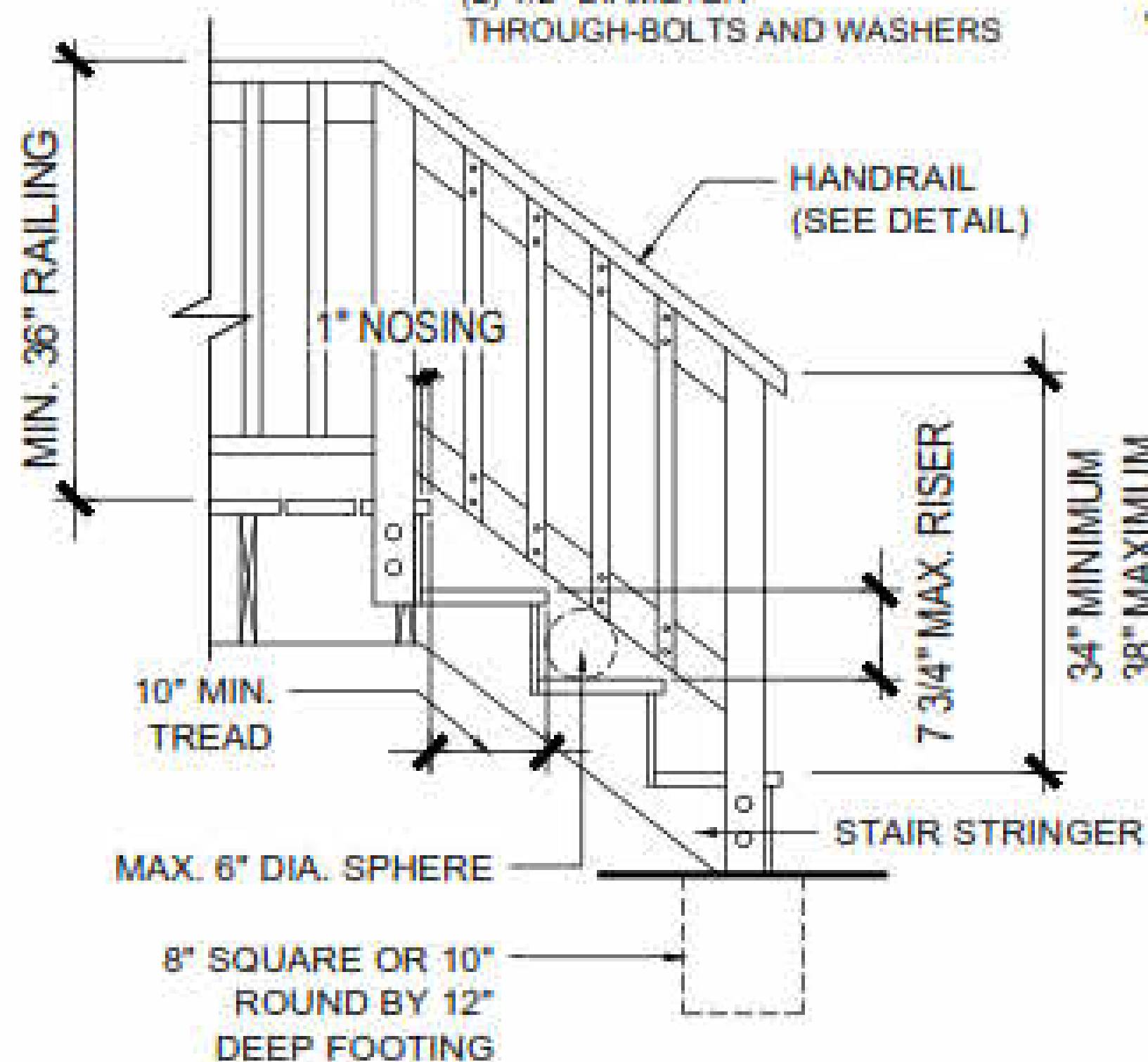
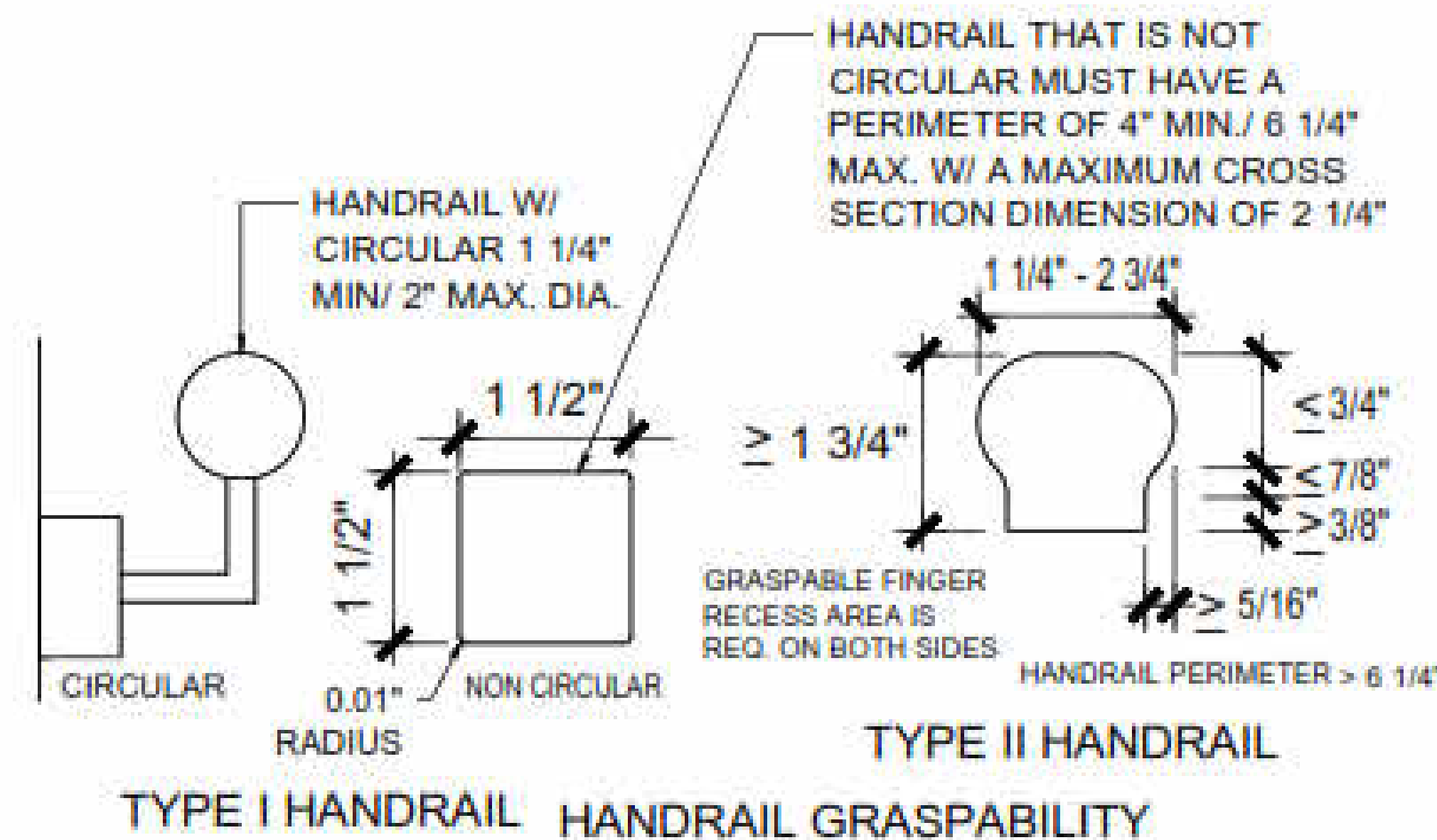
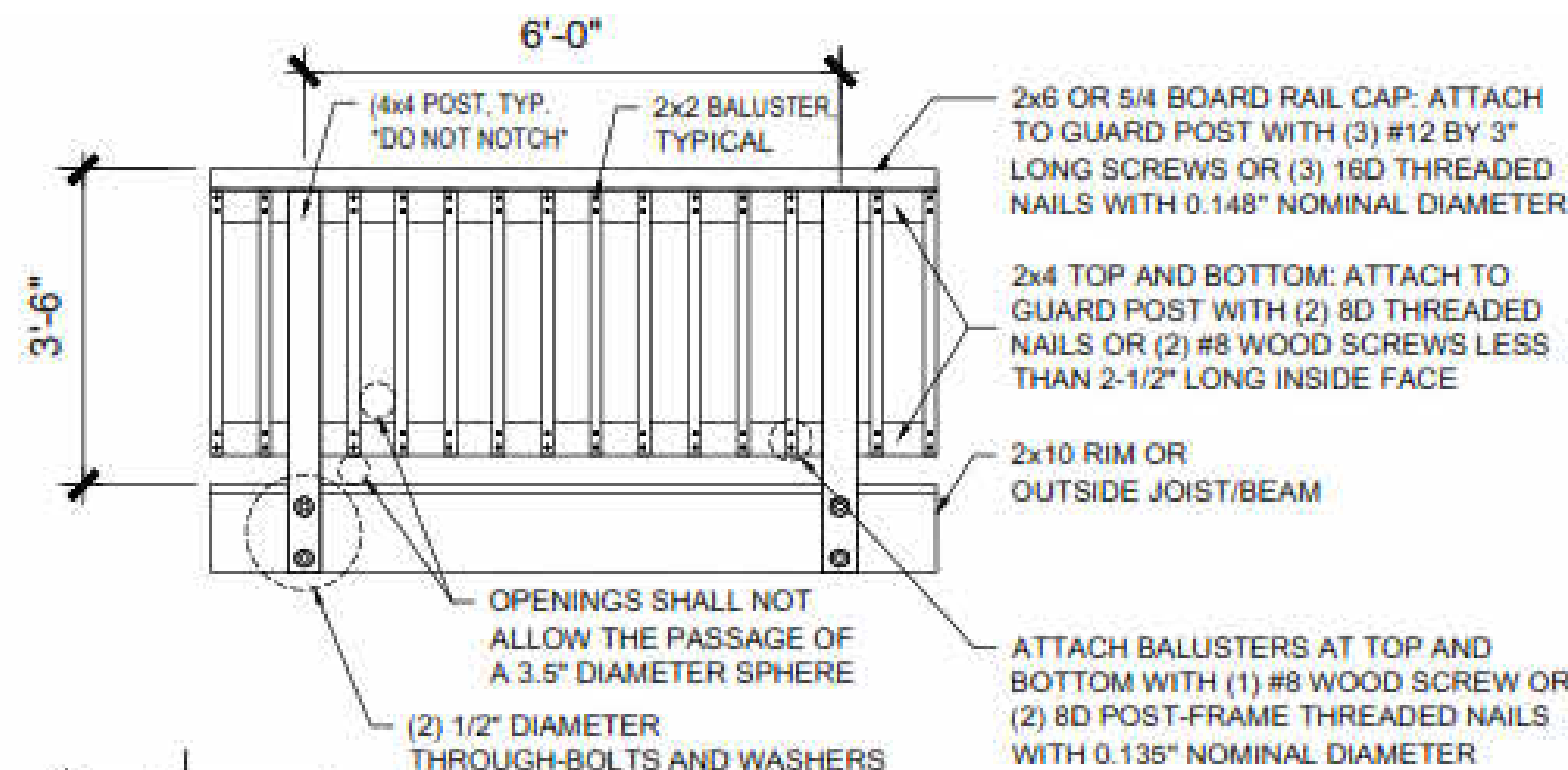


SALE

DESCRIPTION	DATE

PROJECT NUMBER
Project Number
SQUARE FOOTAGE
4438 sf
SCALE
SHEET NAME
STRUCTURAL DETAILS
DATE
Issue Date
CHECKED BY
Checker
SHEET NUMBER
A123
SCALE

10/31/2025 5:21:04 AM



NOTES:

1. ALL FOOTING MUST REST ON UNDISTURBED SOIL.
2. MINIMUM FOOTING SIZE: 16" SQUARE OR 18" SONOTUBE
3. DO NOT ATTACH DECK LEDGER TO OVERHANGING FLOOR SYSTEM OR A 2ND BEAM IS REQUIRED.
4. CORROSION RESISTANT FASTENERS REQUIRED FOR ALL CONNECTIONS.
5. DECKS ARE NOT APPROVED FOR FUTURE HOT TUBS.
6. MAINTAIN MIN. 30 FEET SEPARATION FROM WELL.
7. DO NOT SUPPORT FRAMING LOADS ON EXISTING CHIMNEY.
8. GUARDRAILS SHALL BE DESIGNED FOR LATERAL LOAD OF 200LBS. APPLIED AT ANY POINT ALONG TOP RAIL.
9. BASEMENT DOOR HEADROOM CLEARANCE = 6'-8" MIN.
10. BASEMENT EGRESS WINDOW PATH = 36" MIN.